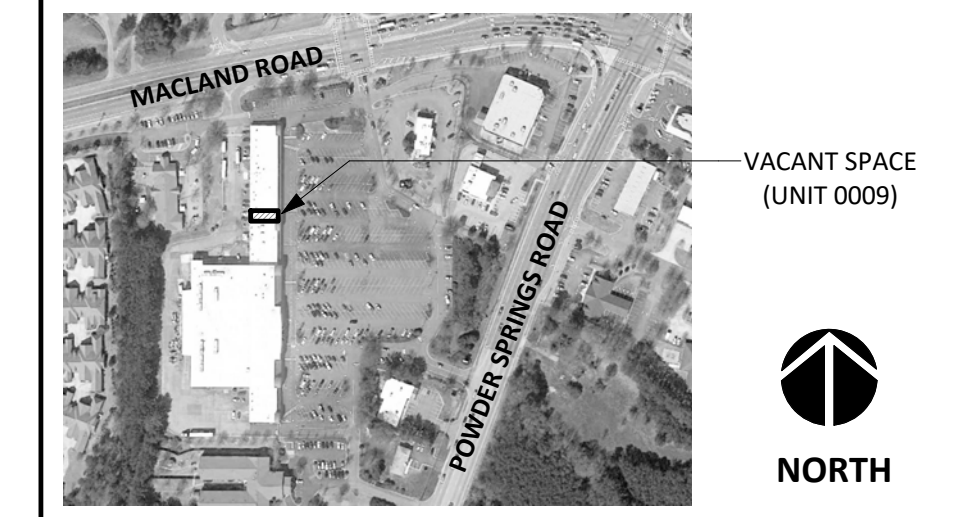


**VICINITY MAP**



DISCLAIMER:  
THESE DOCUMENTS HAVE BEEN PREPARED FOR INFORMATION ONLY AND ARE NOT PROVIDED FOR CONSTRUCTION. ALL DIMENSIONS AND EXISTING CONDITIONS MUST BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION.  
FIELD MEASUREMENTS ARE RECORDED TO THE NEAREST 1/32" AS DOCUMENTED IN THE FINAL CAD (DWG) DOCUMENT. DIMENSIONS SHOWN ARE ROUNDED TO THE NEAREST 1" FOR CLARITY.

**GENERAL INFORMATION:**

NO. OF LEVELS: 1  
BUILDING HEIGHT: +/- 21'-0" (TOP OF PARAPET)  
RESTROOM (ADA) COMPLIANCE: NON-COMPLIANT  
\*REFER TO LOD SUPPLEMENT

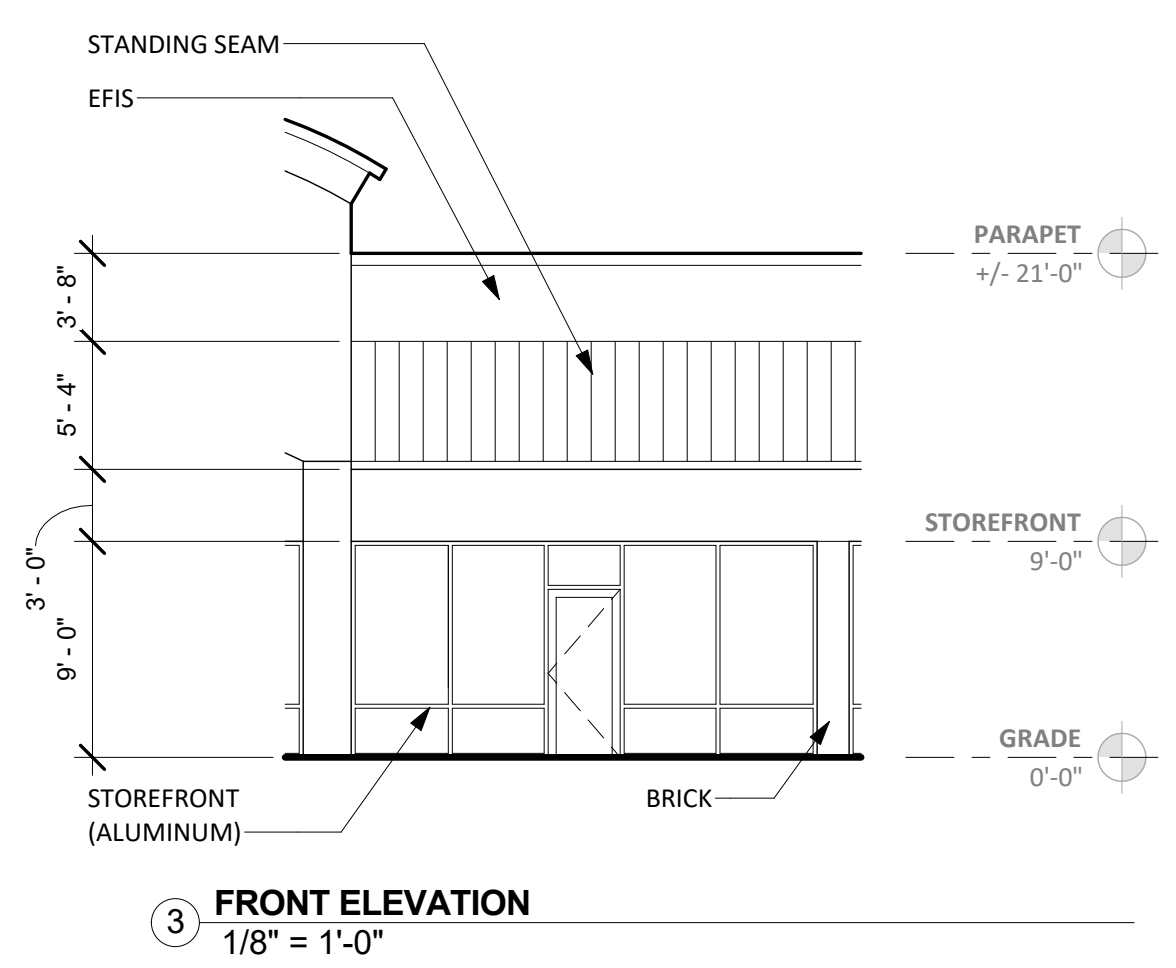
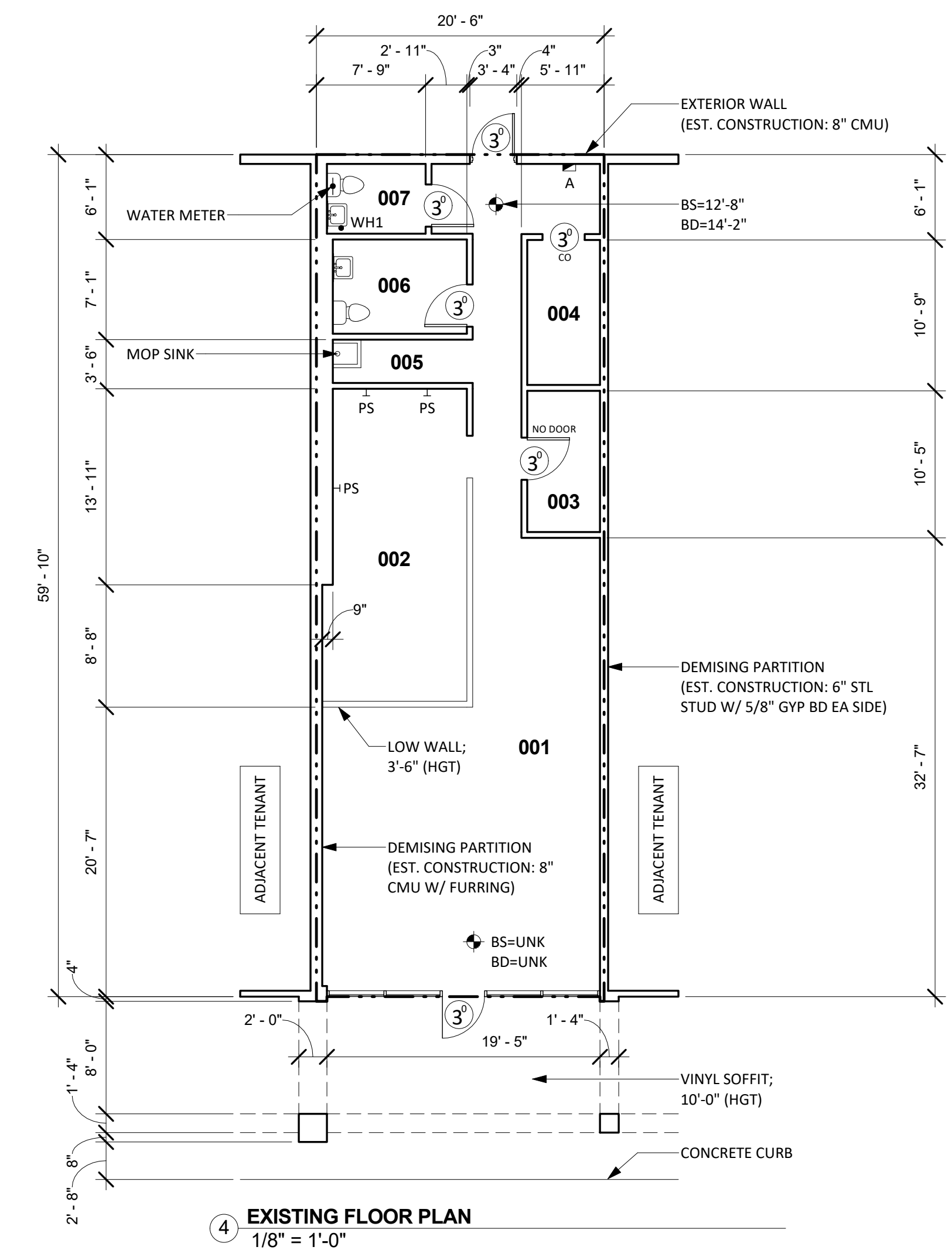
**STRUCTURAL SPOT ELEVATIONS**  
\*REFER TO PLAN FOR LOCATIONS  
BS = BOTTOM OF STRUCT.  
BD = BOTTOM OF DECKING

FIRE PROTECTION (SPRINKER): YES  
FIRE ALARM: NO  
WATER METER: YES  
WATER HEATER (WH1): INSTANT FLOW (INSTANT HOT)  
M/N: N/A | S/N: N/A  
GAS METER: 3/4" SERVICE



**LEGEND**

SW/HHT=4'-0"	= SILL/HEAD HEIGHT	FA	= FIRE ALARM (PULL STATION)
6"	= DOOR WIDTH/TYPE	FS	= FIRE STROBE
⊙	= SPOT ELEVATION	CF	= CEILING FAN
⊗	= FIRE EXTINGUISHER	RD	= ROOF DRAIN (INTERNAL)
⊥	= STUB FOR PLUMBING		



**EXISTING ELECTRICAL SUMMARY**

COMPONENT	MANUFACTURE	CATALOG NO.	VOLTAGE	AMPS	PHASING	CIRCUITS	COMMENTS
PANEL A	SIEMENS	G4242ML3200CU	120/240	200	3PH/4W	39 USED	

**EXISTING FINISH/CONDITIONS SUMMARY (0009)**

ROOM	FLR MAT'L	FLR COND.	BASE	WALL MAT'L	WALL COND.	CLG MAT'L	CLG HGT	CLG COND.	ADD'L COMMENTS
001	CONC (STAINED)	FAIR	4" RUBBER	GYP BD (PTD)	GOOD	ACT	10'-0"	GOOD	
002	CERAMIC TILE	FAIR	6" CERAMIC TILE	GYP BD (PTD)	GOOD	ACT (WASHABLE)	10'-0"	FAIR	VINYL WALL COVER
003	CONC (STAINED)	FAIR	--	GYP BD (PTD)	FAIR	ACT	10'-0"	FAIR	
004	CONC (STAINED)	FAIR	4" RUBBER	GYP BD (PTD)	GOOD	ACT	10'-0"	GOOD	
005	CERAMIC TILE	FAIR	6" CERAMIC TILE	GYP BD (PTD)	GOOD	ACT (WASHABLE)	10'-0"	FAIR	
006	CONC (STAINED)	FAIR	4" RUBBER	GYP BD (PTD)	GOOD	ACT	7'-10"	FAIR	
007	CONC (STAINED)	GOOD	4" RUBBER	GYP BD (PTD) / CMU (PTD)	FAIR	ACT	7'-10"	FAIR	

**NOTE**  
01) STOREFRONT: DARK BRONZE/GLASS (GOOD CONDITION)

**CONDITION EVALUATION DEFINITION:**  
(GOOD) - AVERAGE/ABOVE AVERAGE CONDITION. NO REMEDIAL WORK IS RECOMMENDED OR REQUIRED.  
(FAIR) - AVERAGE CONDITION. SOME WORK IS RECOMMENDED TO RETURN TO GOOD CONDITION  
(POOR) - BELOW AVERAGE CONDITION. SIGNIFICANT WORK SHOULD BE ANTICIPATED TO RESTORE



**RESTROOM COMPLIANCE (PHOTOS)**  
NOT TO SCALE



**ELEVATION (PHOTO)**  
NOT TO SCALE

**GLA: 1,225 sf**



ISSUE DATE  
08.08.18

REVISIONS

NO.	DESCRIPTION

PROJECT NUMBER  
8072

**Unit 0009**  
**Existing Plan**

SHEET NUMBER